

Bushfire Planning Consideration

Prepared by a
Bushfire Planning and
Design Practitioner

Grampians Bushfire Planning

Planning Assessment Report Clause 53.02-6

This report has been prepared by an BPAD Practitioner using the Simplified Procedure (Method 1) as detailed in Section 2 of AS 3959 – 2018 and the detailed method in appendix B. All enquiries related to the information and conclusions presented in this report must be made to the BPAD Practitioner.

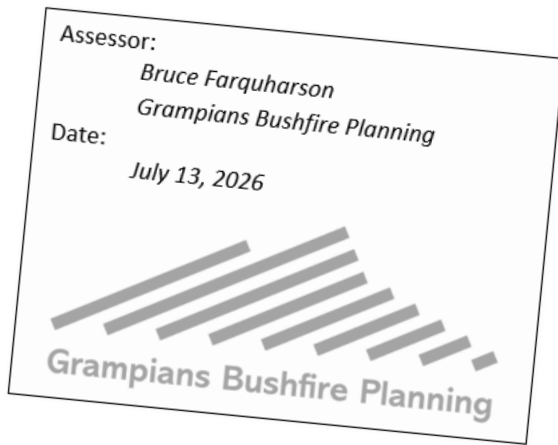
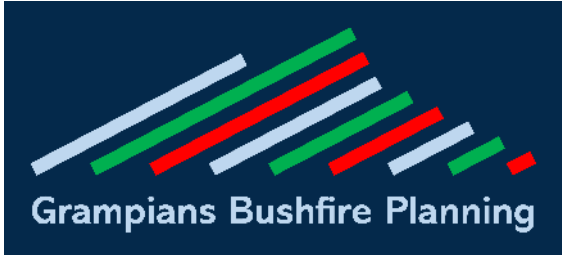
Property Details and Description of Works

Address Details	Street no 75-81	Street name / Plan Reference Murradoc Road		
	Suburb Drysdale		State Victoria	Postcode 3222
Local government area	Greater Geelong		Traditional owners	Wathaurong
Main BCA class of the building	Class 6	Use(s) of the building	Service station / convenience store and gym	
Description of the building or works	New buildings			

Report Details

Report / Job Number 26235	Report Version 2	Assessment Date 16 June 2026	Report Date 13 July 2026
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BPAD Practitioner Details

Name Bruce Farquharson 0409 510 718 bruce@grampiansbushfireplanning.com.au	
Company Details Grampians Bushfire Planning 	

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this report should not extend beyond a period of 12 months from the date of issue of the report. If this report was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Practitioner and where required an updated report issued.

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Introduction

This is a bushfire planning consideration for an application under any provision of this planning scheme to construct a building or construct or carry out works associated with the use of land for accommodation, education centre, hospital, **indoor recreation facility**, major sports and recreation facility or place of assembly in a bushfire prone area that is not in a Bushfire Management Overlay.

Application details

Municipality:	Greater Geelong
Title description:	Lot 1 TP23924

Site Description

Site location context	The site is proposed as a commercial development surrounded by rapidly developing commercial uses. The southern end is proposed to be a service station and convenience store, the centre a gym with no current proposal for the rear. The rear neighbours are residential. The site is not far from the planned limit of urban development. In the foreseeable future, these 2 proposed developments will no longer be in Bushfire Prone Area due to development removing bushfire hazard. The rear of the property where there is no current development proposed is likely to stay in BPA due to the grassland on properties behind.
Site Area	10,435 m ²
Existing use and siting of buildings and works on and near the land:	Nil buildings on this property. Residential rural living properties to the north. Commercial development existing and in progress to the east. Neighbouring vacant land likely to be developed soon to the west with commercial development existing beyond that property. Commercial development across the road to the south.
Location of nearest fire hydrant:	Two fire plugs across Murradoc Rd. Hydrant in neighbouring property near the southeast corner of this property. Development on this site will require fire hydrants for NCC compliance.
Surrounding development possible / expected	In the near future, the only classifiable bushfire hazard within 100 metres of this site will be the rural living area to the north. Development will cover all other areas.

Existing site plan

Site conditions

Legend

Property boundary
 75-81 MURRADOC ROAD

Buildings

 3rd lot
 Convenience store
 Snap fitness

Hydrants

- Hydrant

Property Boundary

10



Map Printed from FireMaps on Thu Jun 18 14:52:21 AEST 2026

Works for continuing development of the property to the east has commenced. There is no bushfire hazard.

Development of the property to the west has no evident imminent development. The bushfire hazard is minor and potential fire hazards are monitored by Municipal Fire Prevention Officers.

Land to the south is almost completely developed. There is no bushfire hazard.

Land to the north is lifestyle properties. The bushfire hazard is low.

Grassland to the east is 280 metres away. The bushfire hazard is minor.



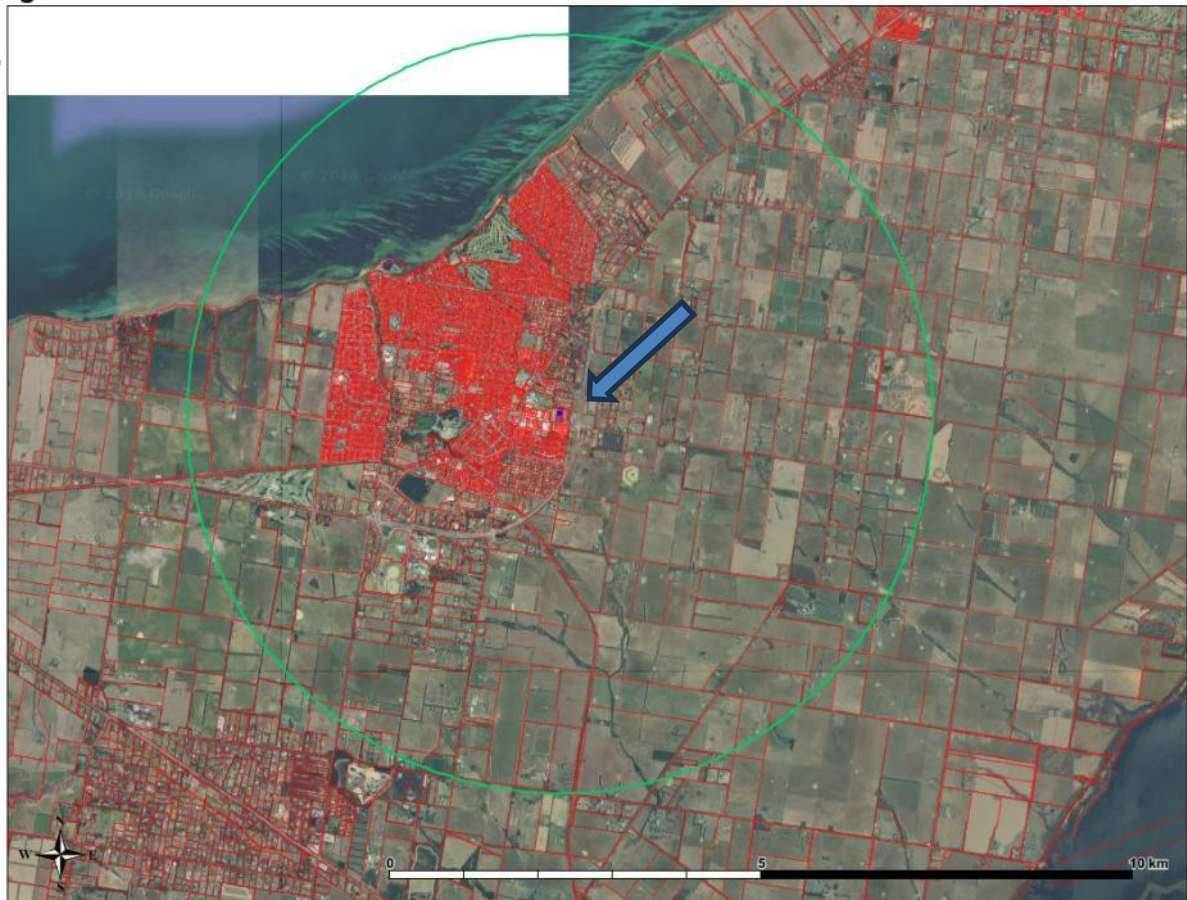
Bushfire Landscape

Local and neighbourhood conditions

Local and Neighbourhood conditions

Legend

- Property boundary
- 75-81 MURRADOC ROAD
- Buildings
- 3rd lot
- Convenience store
- Snap fitness
- Property Boundary



Map Printed from FireMaps on Thu Jun 18 14:27:36 AEST 2026

A green 5 kilometre radius is shown.

This site is almost completely surrounded by urban development. From the northeast there is a connection to wider areas of grassland, shown by the arrow, but the management of the many lifestyle properties in that direction would not support fire development that AS3959:2018 is modelled on. Victorian wind patterns do not support a landscape scale fire approaching from this direction.

This site is on the Bellarine Peninsula where wind from most directions passes over water, cooling and increasing in relative humidity as it does. This reduces the intensity of fire behaviour.

Destructive fires usually approach from the northwest or southwest quarters. This can not occur for this site.

There are no directions where a landscape scale bushfire can approach this site without interruption from development.

The Victorian bushfire history mapping layer covering the last 87 years shows some minor fires between 6.5 and 17 km from the site. They have no implications for this site.

The Victorian fire risk register identifies this area as having a low fire density.



Bushfire Site Assessment

Site Assessment & Site Plans

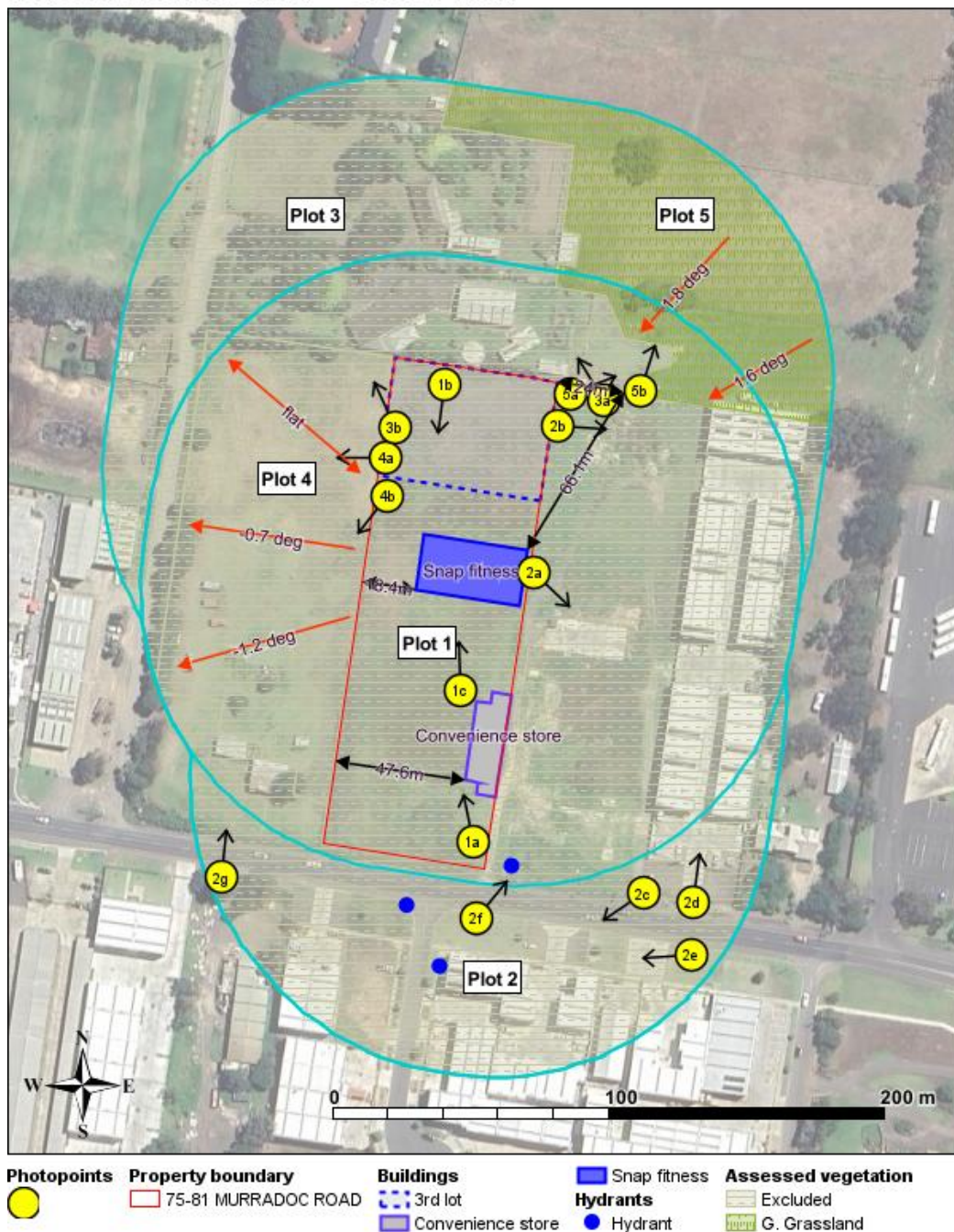
The assessment of this site was undertaken on 16 June 2026

Classification of the vegetation within 100 metres of the proposed development in accordance with AS3959:2018

Construction of buildings in bushfire prone areas.

The proposed development considered was the service station / convenience store, the Snap Fitness gym and the as yet unidentified future development of the rear part of the property.

Bushfire Hazard - Site Plan



Map Printed from FireMaps on Mon Jul 13 12:05:22 AEST 2026



Vegetation Classification

All vegetation within 100m of the proposed developments was classified in accordance with Clause 2.2.3 of AS 3959-2018. Each distinguishable vegetation plot with the potential to determine the Bushfire Attack Level is identified below.

The vegetation types identified are based on potential bushfire behaviour and may vary from similarly named ecological vegetation classifications.

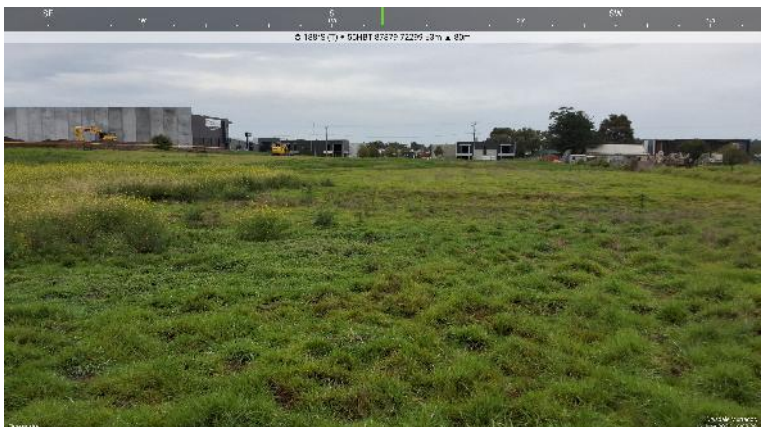
Photo ID:	1a	Plot:	1
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(e) Non Vegetated Areas			
Description / Justification for Classification			
This is the site of the proposed service station and convenience store. The only vegetation will be some landscaping plants. The low fuel load will be low threat.			
			
Photo ID:	1b	Plot:	1
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(f) Low Threat Vegetation			
Description / Justification for Classification			
This has the rear part of the property in the foreground and the gym and service station beyond that. The only vegetation beyond grass in the foreground will be some landscaping plants. The low fuel load will be low threat.			
			



Photo ID:	1c	Plot:	1
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(e) Non Vegetated Areas			
Description / Justification for Classification			
This is the proposed site of the gym. The only vegetation will be some landscaping plants. The low fuel load will be low threat.			
			
Photo ID:	2a	Plot:	2
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(e) Non Vegetated Areas			
Description / Justification for Classification			
Earthworks for construction is occurring on the neighbouring property. The area will continue to be non-vegetated.			
			
Photo ID:	2b	Plot:	2
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(f) Low Threat Vegetation			
Description / Justification for Classification			
Weeds (nettles) on the neighbouring property are high moisture content and low fuel load. They are low threat.			
			



Photo ID: 2c Plot: 2	
Vegetation Classification or Exclusion Clause Excludable - 2.2.3.2(e) Non Vegetated Areas	
Description / Justification for Classification The commercial development along Murradoc Road has minimal fire fuel and is low threat.	
Photo ID: 2d Plot: 2	
Vegetation Classification or Exclusion Clause Excludable - 2.2.3.2(e) Non Vegetated Areas	
Description / Justification for Classification The commercial development along Murradoc Road has minimal fuel and is low threat.	
Photo ID: 2e Plot: 2	
Vegetation Classification or Exclusion Clause Excludable - 2.2.3.2(e) Non Vegetated Areas	
Description / Justification for Classification The commercial development along Murradoc Road has minimal fuel and is low threat.	



Photo ID:	2f	Plot:	2
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(e) Non Vegetated Areas			
Description / Justification for Classification			
The commercial development along Murradoc Road has minimal fuel and is low threat.			

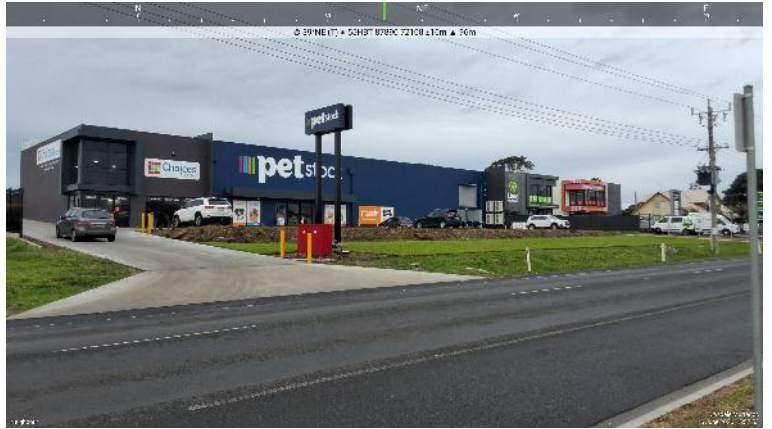


Photo ID:	2g	Plot:	2
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(f) Low Threat Vegetation			
Description / Justification for Classification			
This area with a derelict house and a site sales office is managed lawn in a fenced area. It is low threat vegetation.			



Photo ID:	3a	Plot:	3
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(f) Low Threat Vegetation			
Description / Justification for Classification			
This managed lawn and garden area has low fuel load, high moisture content vegetation that is low threat.			





Photo ID:	3b	Plot:	3
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(f) Low Threat Vegetation			
Description / Justification for Classification			
Around this house is managed lawn and garden area has low fuel load, high moisture content vegetation that is low threat.			
			
Photo ID:	4a	Plot:	4
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(f) Low Threat Vegetation			
Description / Justification for Classification			
This area of grass is short. Fire hazards are monitored by Municipal Fire Prevention Officers and fire prevention notices can be issued if needed. The low fuel load is low threat vegetation.			
			
Photo ID:	4b	Plot:	4
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(f) Low Threat Vegetation			
Description / Justification for Classification			
This area of grass is short. Fire hazards are monitored by Municipal Fire Prevention Officers and fire prevention notices can be issued if needed. The low fuel load is low threat vegetation.			
			



Photo ID:	5a	Plot:	5
Vegetation Classification or Exclusion Clause			
Class G Grassland – Sown pasture G-26			
Description / Justification for Classification			
This area of grass is short but has no indication of recent management.			
			
Photo ID:	5b	Plot:	5
Vegetation Classification or Exclusion Clause			
Class G Grassland – Sown pasture G-26			
Description / Justification for Classification			
This area of grass is short and managed in the foreground. Beyond that there is no indication of recent management.			
			



Relevant Fire Danger Index

The fire danger index for this site has been determined in accordance with Table 2.1 or otherwise determined in accordance with a jurisdictional variation applicable to the site.

Fire Danger Index

FDI 40 ☐

Table 2.7

FDI 50 ☐

Table 2.6

FDI 80 ☐

Table 2.5

FDI 100 ☒

Table 2.4

Plot 4 is likely to be developed soon but no imminent intent is evident. The consideration in this report is based on it continuing to have bushfire fuels managed as low threat fuels, including monitoring in the Geelong City Bushfire Hazard Program (see appendix 2).

Potential Bushfire Impacts

Convenience store

The potential bushfire impact to the convenience store from each of the identified vegetation plots are identified below.

Plot	Vegetation Classification	Effective Slope	Separation (m)	BAL
1	Excludable – Clause 2.2.3.2(f)	-	-	BAL – LOW
2	Excludable – Clause 2.2.3.2(f)	-	-	BAL – LOW
4	Excludable – Clause 2.2.3.2(f)	-	-	BAL – LOW

BAL Analysis – method 1

The potential bushfire impact from the identified vegetation plots results in a BAL-LOW rating. No bushfire protections measures are proposed.

Gym

The potential bushfire impact to the gym from each of the identified vegetation plots are identified below.

Plot	Vegetation Classification	Effective Slope	Separation (m)	BAL
1	Excludable – Clause 2.2.3.2(f)	-	-	BAL – LOW
2	Excludable – Clause 2.2.3.2(f)	-	-	BAL – LOW
3	Excludable – Clause 2.2.3.2(f)	-	-	BAL – LOW
4	Excludable – Clause 2.2.3.2(f)	-	-	BAL – LOW
5	Class G Grassland	1.8	66.1	BAL – LOW

BAL Analysis – method 1

The potential bushfire impact from the identified vegetation plots results in a BAL-LOW rating. No bushfire protections measures are proposed.



Rear part of site

There is not a current development proposal for this area. The context of this response is the likelihood that any development will be building(s) built to the west, north and east boundaries. NCC fire rating construction requirements for walls on property boundaries relate to fire spread between buildings. The measures are based on similar radiant heat exposure to bushfire and can be an appropriate response. Where a building is not built to the boundary, radiant heat exposure is less and suitable responses are able to be made.

The potential bushfire impact to the rear part of the site from each of the identified vegetation plots are identified below.

Plot	Vegetation Classification	Effective Slope	Separation (m)	BAL
1	Excludable – Clause 2.2.3.2(f)	-	-	BAL – LOW
2	Excludable – Clause 2.2.3.2(f)	-	-	BAL – LOW
3	Excludable – Clause 2.2.3.2(f)	-	-	BAL – LOW
4	Excludable – Clause 2.2.3.2(f)	-	-	BAL – LOW
5	Class G Grassland	1.8	24	BAL – 12.5

Radiant heat from plot 5 to a building built within 26 metres of the north and east property boundary would expose the building to radiated heat requiring BAL-12.5 construction. Fire rated walls as required by NCC Part C1 for a building built on the property boundary would be a suitable response for walls on the east and north elevations.

Determined Bushfire Attack Level (BAL)

Rather than determining a Bushfire Attack Level (highest BAL) for the proposed development in accordance with clause 2.2.6 of AS 3959:2018, specific consideration of the bushfire risk will propose specific responses, informed by AS3959:2018.

A Class 6 building in Bushfire Prone Area in Victoria does not routinely require a BAL rating under building regulations. Planning clause 53.02-6 requires consideration of bushfire risk. AS3959:2018 and NCC provisions for fire resistance, not bushfire risk related but consistent, inform that consideration of bushfire risk.



Bushfire Hazard and Risk Considerations

Bushfire management and prevention

Required consideration:

- The impact of any State, regional or local bushfire management and prevention actions occurring around the site and in the wider area on the bushfire hazard and the level of risk to the proposed development.

The Victorian Fire Risk Register – Bushfire identifies no nearby risks and that this area for 15 km has a low fire density.

The Regional Bushfire Planning Assessment Barwon-South-West-Region identifies no nearby hazards.

This site is in a town area where it is expected that the Municipal Fire Prevention Officer will inspect and, when necessary, issue fire prevention notices to ensure that potential bushfire hazards are managed.

Risk to people, property and community infrastructure

Required consideration:

- The risk of bushfire to people, property and community infrastructure.

The risk of bushfire to people from this development is small. The bushfire exposure is much less than many dwellings in bushfire prone area. Occupation of the convenience store, other than staff, is minutes. Occupation of the gym would be typically less than 2 hours. Sheltering indoors would have minimal risk. The nature of the proposed construction and limited exposure to bushfire risk poses little threat to people.

The nature of the construction and distance from bushfire hazard means that the risk to property is small.

This proposal is not community infrastructure and does not pose any significant risk to infrastructure.

In the Victorian State Emergency Management priorities, these income earning assets are in the fifth level of priority.

Risk from broader landscape

Required consideration:

- Whether the risk arising from the broader landscape can be mitigated to an acceptable level.

The risk from the broader landscape is small with the only potential approach of a landscape scale fire being an interrupted approach from the northeast. The construction type of the development mitigates the bushfire risk to a greater extent than what could be regarded as acceptable.



Bushfire protection measures

Required consideration:

- Whether bushfire protection measures to address the identified bushfire risk are required and can be practically implemented, including any measure set out in clause 53.02-4.

Convenience store

This building is sufficiently separated from bushfire hazards to not require any bushfire protection measures. The canopy and car wash are separated from bushfire hazard, are open outdoor structures with small bushfire risk that does not warrant bushfire protection measures.

Gym

The north, south and east walls are concrete. The exit door in the north wall is far from a bushfire hazard. These building elements do not require bushfire protection measures.

This building is sufficiently separated from bushfire hazards to not propose any bushfire protection measures.

Rear part of property

This consideration is based on potential circumstances that may not reflect any development proposal. The guidance with the BAL analysis generally applies where development to the boundary occurs. Fire rated walls as required by NCC Part C1 for a building built on the property boundary would be a suitable response for walls on the east and north elevations.

Biodiversity impacts from proposed vegetation

Required consideration:

- Whether bushfire protection measures can be implemented without unacceptable biodiversity impacts.

The author has some knowledge of, but no formal or recognised expertise in biodiversity.

There were no apparent biodiversity impacts when the site was inspected.

Bushfire hazard or risk from proposed vegetation

Required consideration:

- If vegetation is proposed, whether it will cause or contribute to the bushfire hazard or increase the risk to life, property, or community infrastructure.

The proposed landscaping is low threat vegetation.



Vulnerable people

Is this a building to be occupied by vulnerable people as listed in 53.02-6?

Yes



No



The proposed Snap Fitness building is a building used as an indoor recreation facility.

Required consideration:

For a building used for accommodation (other than a dwelling or small second dwelling), education centre, hospital, **indoor recreation facility**, major sports and recreation facility or place of assembly the responsible authority must also consider:

- The capacity for vulnerable occupants to evacuate.
- Whether emergency management arrangements are provided and are sufficient for the site.
- Whether the risk to vulnerable occupants warrants the closure of the use or development on days of elevated fire danger.
- Whether measures to shelter in place are warranted and whether the measures will protect human life.
- The net benefit provided to any existing vulnerable people.

Capacity for vulnerable occupants to evacuate.

Vulnerable occupants' capacity is likely to be impacted by:

Age and mobility issues – agility, speed	Yes	☐	No	☒
Alertness and decision-making capacity	Yes	☐	No	☒
Needs for transport to safer area	Yes	☐	No	☒
Assistance required to evacuate	Yes	☐	No	☒
Ability to evacuate	Yes	☐	No	☒

Occupants of the Snap Fitness building are expected not to have the identified capacity issues that are associated with vulnerable people in this clause.

- Occupants travel to the site for a short duration visit, less than 2 hours. Occupants that may need assistance are likely to have the assistance with them for travel to and from the site.
- The exposure of the building to bushfire is low and sheltering in place in this building during a bushfire is a suitable choice with minimal risk.



- Travel to and from the residential areas of Drysdale and Clifton Springs is in an area of low fuel load, low threat vegetation.

Emergency management arrangements

The nature of the construction of the building plus the low exposure to bushfire risk does not warrant having emergency management arrangements for bushfire specifically. Emergency management arrangements for other circumstances should be applied as they should be in any commercial building.

Premises closure

Does the risk to vulnerable occupants warrants the closure of the use or development on days of elevated fire danger.

Yes ☐ No ☒

A bushfire is unlikely to reach the building including on days of elevated bushfire danger. Travel to and from the sited from the Drydale and Clifton Springs areas is through low threat vegetation and non-vegetated areas and so is of low risk.

If a fire was to occur and get close to the building, the concrete construction provides significant protection allowing for occupants to remain inside.

Whether the building is staffed makes little difference to whether closure occurs.

Shelter in place

Are measures to shelter in place are warranted? Yes ☒ No ☐

Will the measures will protect human life? Yes ☒ No ☐

Whether measures to shelter in place are warranted is marginal. The capacity to easily shelter in place informs a decision on whether to evacuate or to have specific emergency management procedures.

Net benefit to vulnerable people

While the use is identified as being for vulnerable people, few occupants are likely to be vulnerable.

On the basis that a fitness centre is of benefit to any vulnerable occupants, this will be a building where they can gain the benefit of exercise in an environment where they can either stay inside or leave and travel safely in a bushfire event. Use of this building does not make them significantly vulnerable to a bushfire. The net benefit is the capacity to gain from the exercise.



Bushfire Planning Objective

Does this proposal meet the objective to strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.

Yes ✓ No ☐

The bushfire risk to this site is low.

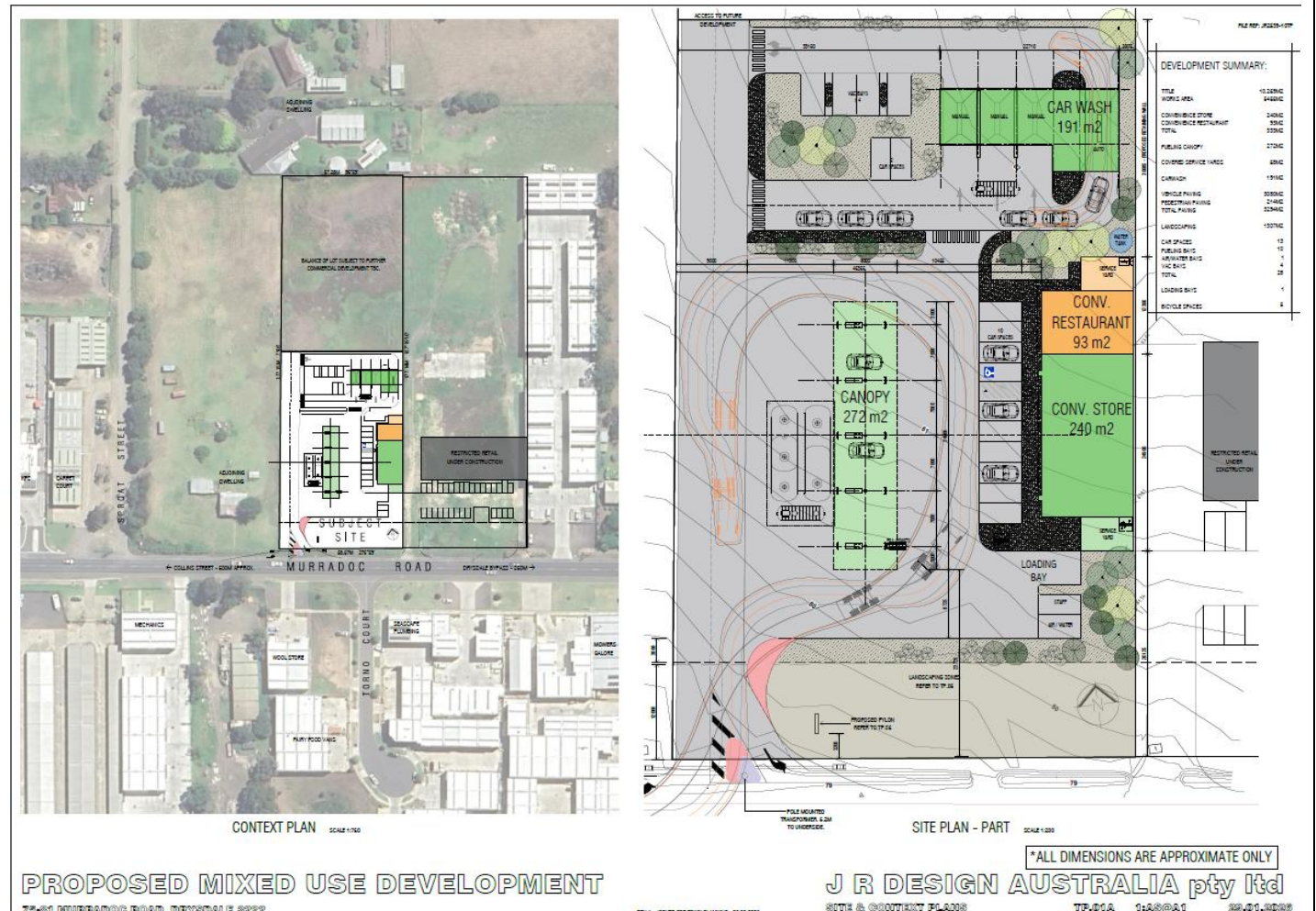
The responses prioritise protection of human life.



Appendix 1: Plans and Drawings

Plans and drawings relied on to determine the bushfire attack level

Drawing / Plan Description Site plan – service station



Job Number

Revision A

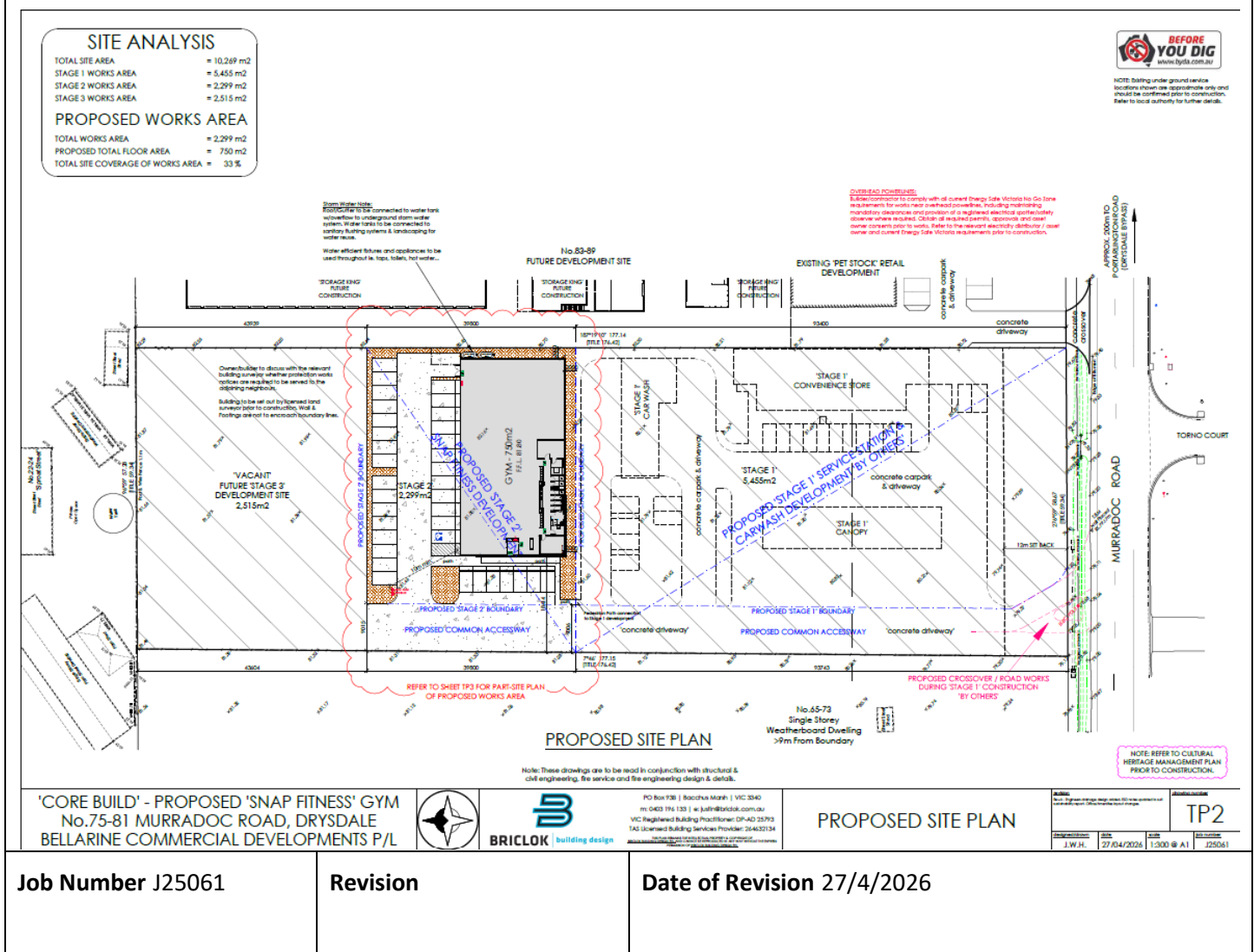
Date of Revision 5/3/2026

BAL Assessment Report



Grampians Bushfire Planning

Drawing / Plan Description Site plan – Gym

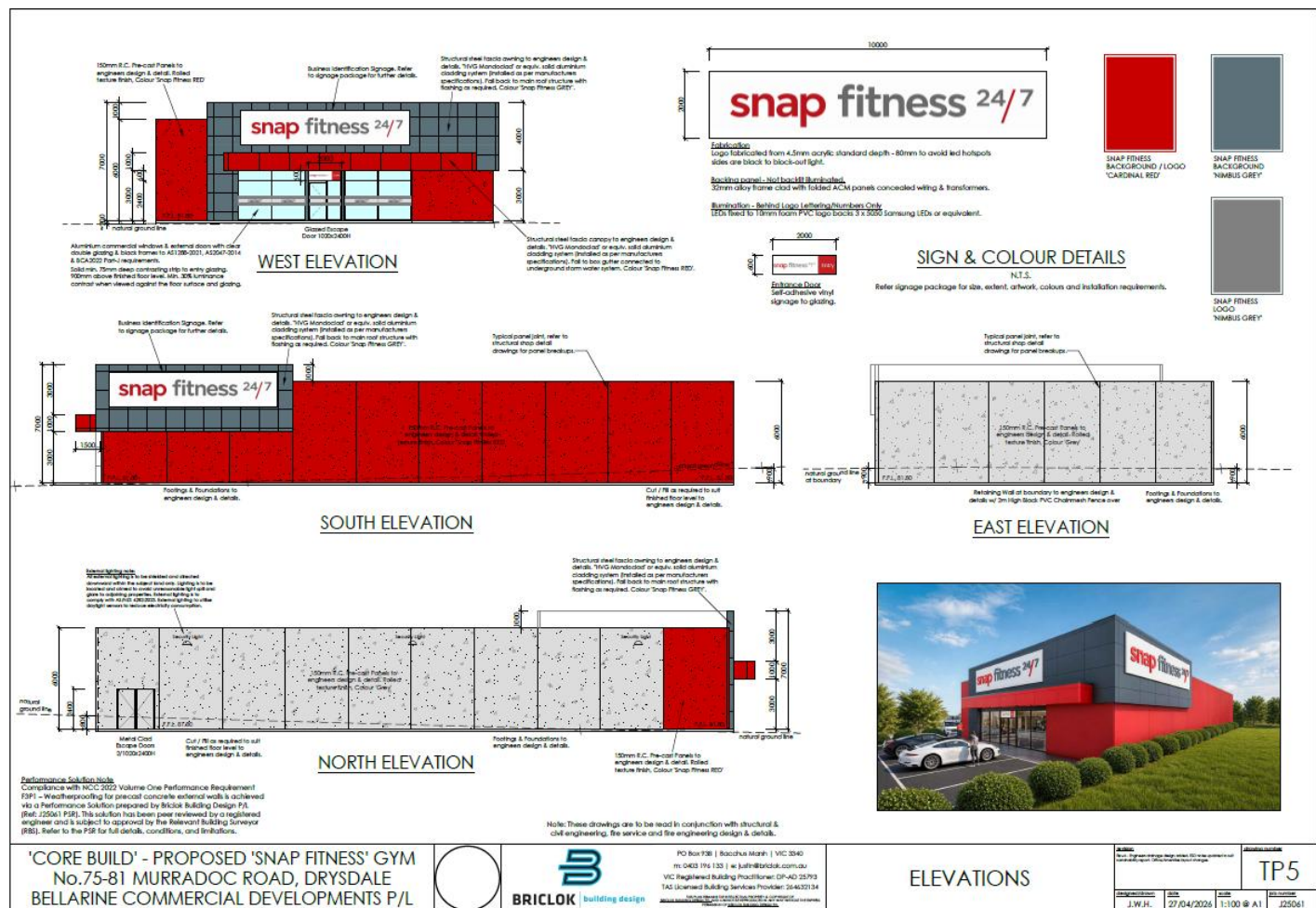


BAL Assessment Report



Grampians Bushfire Planning

Drawing / Plan Description Elevations – Gym



**Appendix 2: Additional Information / Advisory Notes**

Building design, including applying BAL construction, can improve the ability of the building to better withstand attack from bushfire. It is one of several measures available to property owners and occupiers to address damage during bushfire. Planning, subdivision, siting, landscaping and maintenance are also measures that mitigate the damage from bushfire.

Building to any BAL rating assessed in this report cannot guarantee that the building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire and extreme weather conditions.

City of Geelong Bushfire Hazard Program – Information provided 25 June 2026.

At the City of Greater Geelong, our annual Fire Prevention Program is focused on reducing fire hazards across the municipality through proactive inspection, education, and enforcement.

Each fire season, we undertake systematic inspections of private properties to identify potential fire hazards, particularly fine fuels such as grass exceeding 100mm in height and accumulation of combustible materials. Where hazards are identified, Fire Prevention Notices (FPNs) are issued to the property owner or occupier, outlining the required remedial works and a timeframe for compliance.

Follow-up inspections are conducted to ensure works have been completed. In cases of non-compliance, enforcement action may be taken, which can include infringement or prosecution. Where necessary, Council may engage contractors to undertake the required works on behalf of the owner, with costs recovered accordingly.

This program supports the ongoing reduction of fuel loads across the municipality and contributes to lowering bushfire risk, particularly in residential and peri-urban areas.

Please let me know if you require any further detail.

Kind regards,

Logan Sinclair

Municipal Fire Prevention Officer / Team Leader

City of Greater Geelong